



510 Madera Ave.
San Jose, CA 95112
(408) 993-1900
Fax (408) 993-1944
Contractors License No. 729266

Roof Inspection Report

7121 Sheehan Court, San Jose



Ordered by:

Steve Trotter
Intero Real Estate
1900 Camden Avenue
San Jose CA 95124

Inspected by:

Ernest (Andy) Rodriguez
February 9, 2010
Report No. 139089

SCOPE OF THE INSPECTION:

The roof of the dwelling at the above property has been inspected by a qualified inspector employed by HomeGuard Incorporated. The professional opinion of the inspector contained in this report is solely an opinion and does not constitute a warranty or guarantee. The inspector has inspected all exterior roof components and documented in general terms the type of roof, its intended life and overall condition at the time of this inspection. Where accessible, HomeGuard Incorporated has noted all conditions that may compromise any inspected roof component's ability to shed water and/or realize its intended life. Verification of actual roof performance and/or troubleshooting of existing conditions, such as water testing, are NOT included in the scope of our inspection unless specifically requested and mentioned in our report. This inspection should not be considered a guarantee of actual roof performance, as performance is contingent upon the condition of internal system components not accessible to our inspector. This roof was not inspected for conformance to local building codes. The inspector has not inspected the attic area nor did the inspector perform a visual interior inspection looking for past or present roof performance issues. All present and prior disclosures along with other inspection reports should be reviewed and addressed prior to the close of escrow.

GENERAL DESCRIPTION:

Unless otherwise specifically mentioned in this report decks, balconies, detached structures, patio covers, out buildings, sheds and bonus rooms are not included in this report. This is a two story single family residence. The roof is a concrete tile, terra cotta in color with a type 30# saturated felt underlayment. The typical life expectancy of this roofing material is 40 to 50 years. The roof has the wear characteristics of being approximately 23+ year(s) old. The pitch of the roof appears to be 6:12 to 8:12. The overall condition of the roof is good.

FINDINGS:

1. The front roof to wall flashing is not properly secured and is pulling up and away from the roof's surface. (See Picture 1)

RECOMMENDATION:

Secure the front roof to wall flashing as necessary to make watertight.

2. Previous repairs have been performed to the roofing system at several areas. These repairs have deteriorated and must be re-done. (See Picture 2) (See Picture 3) (See Picture 9)

RECOMMENDATION:

Repair previous repairs that have deteriorated.

3. The tiles at the left and right side roof to wall are not properly secured and have slipped out of position. This condition is allowing water to penetrate the roof covering and may lead to subsequent leakage. (See Picture 4) (See Picture 15) (See Picture 24)

RECOMMENDATION:

Reposition the tiles as needed to prevent leakage.

4. During the course of this inspection we noted 8+ broken and/or cracked field tile(s) . (See Picture 5) (See Picture 6) (See Picture 7) (See Picture 14) (See Picture 18) (See Picture 19) (See Picture 22) (See Picture 23)

RECOMMENDATION:

Repair and/or replace broken and/or cracked field tile(s) where we deem necessary.

5. The front second story rake to field intersection is lacking a proper seal, subsequently water may penetrate the roofing system. (See Picture 8)

RECOMMENDATION:

Seal the front second story rake to field intersection as necessary.

6. Debris has collected behind the chimney and may cause water to backup into the structure. (See Picture 10)

RECOMMENDATION:

Clear all debris from behind the chimney, this is a one time service.

7. During the course of this inspection, we noted one loose ridgeline tile(s). (See Picture 11)

RECOMMENDATION:

Repair and/or replace ridgeline tiles as necessary.

8. Two plumbing and heating flashing has tears and puncture holes. This area appears vulnerable to leakage. (See Picture 12) (See Picture 13)

RECOMMENDATION:

Repair the rips and/or puncture holes in the lead plumbing and heating flashing where needed.

9. Debris is impeding water travel at the valley. (See Picture 16) (See Picture 17)

RECOMMENDATION:

Remove debris from the valley. This is a one time service.

10. We noted two plumbing and heating areas that were the tiles are impacting water travel. This condition does not allow for proper drainage. (See Picture 20) (See Picture 21)

11. The rain gutters do not appear to be shedding water properly. The owner is advised to contact a sheet metal contractor or someone in this line of work to inspect the gutter system and make any recommendations and/or repairs deemed necessary. Upon request HomeGuard Inc. will issue a supplemental bid.

SUMMARY:

Finding numbers 1-10 listed above must be corrected to ensure a water tight condition. The cost to repair these items is \$895.00. This bid is for the conditions listed, which existed on the date of our inspection. If any contractor performs repairs on the eave, rafters or fascia or if work is performed on the structure which causes damage to the roof covering a supplemental bid will be issued upon request.

Inspected by: **Ernest (Andy) Rodriguez** Signature _____



Report Pictures

Pictures are provided to assist in clarifying some of the findings made in this report. No relative importance should be placed on these pictures. The pictures in this report do not necessarily illustrate all of the damage or conditions as outlined in this report. Please contact the inspector if you have specific questions.



Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



Picture 6



Picture 7



Picture 8



Picture 9



Picture 10



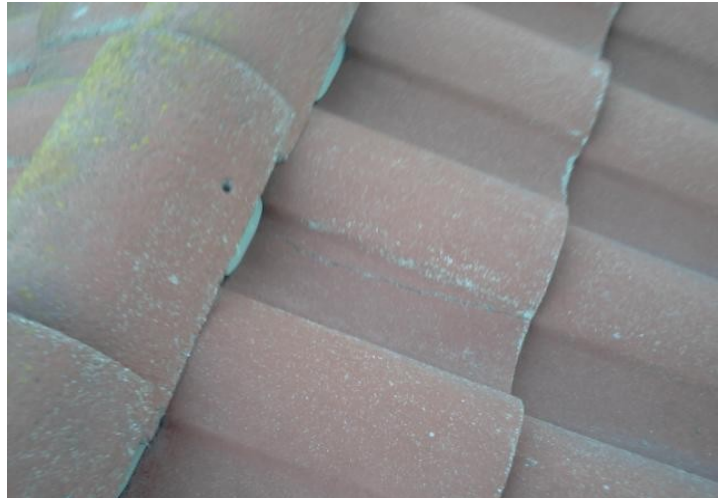
Picture 11



Picture 12



Picture 13



Picture 14



Picture 15



Picture 16



Picture 17



Picture 18



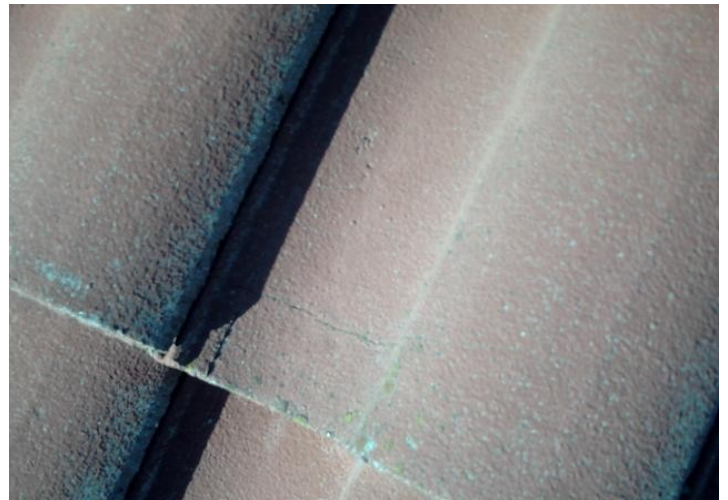
Picture 19



Picture 20



Picture 21



Picture 22



Picture 23



Picture 24



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AGREEMENT

7121 Sheehan Court, San Jose

HomeGuard Incorporated is authorized to proceed with the work outlined in the recommendations of the roof report no. 139089 for the property located at 7121 Sheehan Court, San Jose. The amount due will be payable upon completion of work. It is understood that the contract price does not include the charge of the inspection report or re-inspection fees. Inspection number 139089 is attached hereto and incorporated herein.

HOMEGUARD INCORPORATED AGREES:

1. To perform all repairs in a workman-like manner. We assume no responsibility for work performed by others.
2. To be bound to perform this work for the price quoted above for a period of 60 days.
3. To use reasonable care in the performance of our work but to assume no responsibility for damage to any hidden pipes, wiring, or other facilities or to any shrubs or other life.

OWNER OR OWNER'S AGENT AGREE:

1. To pay for services rendered including any additional services requested, upon completion of work.
2. To pay a service charge of 1.5 percent per month or portion of any month beyond 30 days after completion.
3. To grant HomeGuard Incorporated a security interest in the above described real property to secure payment of the sum for work and/or inspection(s) completed.
4. Not to hold HomeGuard Incorporated responsible for any acts of God.

BOTH PARTIES AGREE:

1. If additional damage is discovered by HomeGuard Incorporated during the performance of work, the company agrees to notify the owner or owner's agent of the amount of the damage and the cost to perform the additional work. This work will be performed upon written or oral authorization.
2. If any additional work is deemed necessary by the local building inspector, said work will not be performed without additional authorization from the owner or owner's agent.

NOTICE TO OWNER - LICENSING

"Contractors are required by law to be licensed and regulated by the Contractors State License Board, which has jurisdiction to investigate complaints against contractors if a complaint regarding a patent act or omission is filed within four years of the date of the alleged violation. A complaint regarding a latent act or omission pertaining to structural defects must be filed within 10 years of the date of the alleged violation. Any questions concerning the contractor may be referred to the Registrar, Contractors State License Board, Post Office Box 26000, Sacramento, California 95826.

"State law requires anyone who contracts to do construction work to be licensed by the Contractors State License Board in the license category in which the contractor is going to be working—if the total price of the job is \$500 or more (including labor and materials).

"Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors State License Board may be unable to assist you with a complaint. Your only remedy against an unlicensed contractor may be in civil court, and you may be liable for damages arising out of any injuries to the contractor or his or her employees.

"You may contact the Contractors State License Board to find out if this contractor has a valid license. The Board has complete information on the history of licensed contractors, including any possible suspensions, revocations, judgments, and citations. The Board has offices throughout California. Please check the government pages of the White Pages for the office nearest you or call 1-800-321-CSLB for more information."

Initials _____



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AGREEMENT

7121 Sheehan Court, San Jose

NOTICE TO OWNER - LEAK-FREE WARRANTY

HomeGuard warrants roof components, designed as such, to be free of readily apparent defects. If leakage should occur due to a readily apparent defect, HomeGuard will repair the covered roof components at no charge within thirty (30) days of notification. The exceptions and exclusions from the terms of this warranty are as follows:

1. HomeGuard Incorporated is not responsible for any interior or exterior damage caused by any leak that may develop.
2. HomeGuard Incorporated is not responsible for removal of standing water after roof work has been completed.
3. HomeGuard Incorporated is not responsible for leaks caused by vandalism, work performed by others, or acts of God.
4. HomeGuard Incorporated is not responsible for leaks caused by accumulated debris on the roof.
5. HomeGuard Incorporated is not responsible for leaks in gutter systems, sidewalls or roof area under solar systems unless specifically warranted in the repair contract.
6. HomeGuard Incorporated is not responsible for leaks that are the result of inadequate protection caused by the original manufacturer's specifications.

At no time does HomeGuard Inc. warrant the performance and/or condition of the following: proprietary roofing systems, metal/metallic roofing systems, deck coatings, corrugated roof covers, patio covers, patio decks, internal roof components, tar and gravel roofs, exterior structural components, or roof slopes under 2:12.

Claims under this warranty must be reported to HomeGuard Incorporated within three (3) days of the discovery of the leak.

The minimum service charge for any work is \$240. HomeGuard Incorporated will certify the roof to be leak-free for a period of 1 year after the corrective repairs noted below have been performed by HomeGuard.

Corrective items:

\$895.00

**Items 1, 2, 4, 5, 6, 7,
8, 9**

Initials _____



510 Madera Ave.
San Jose, CA 95112
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Invoice Date: **2/10/2010**

Invoice No: **SJ266599R**

Invoice

Bill To:

Don Paul
7121 Sheehan Court
San Jose, CA 95120

Property Information:

Address: **7121 Sheehan Court**
San Jose CA, 95120
Report No. **139089**
Escrow No.

Billing Information:

Inspection: 2/9/2010 Original	\$0.00
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Notice of Completion:	\$0.00
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Other:	\$0.00
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Total Due:	\$0.00
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DUE UPON RECEIPT - Please remit to: 510 Madera Ave., San Jose, CA 95112

There is a \$25 fee for all returned checks.