

# Property Inspection Report

**2431 Plummer Avenue, San Jose, CA 95125**

---



**Ordered by:** \_\_\_\_\_

Steve Trotter  
Intero Real Estate  
1900 Camden Avenue  
San Jose CA 95124

**Inspected by:** \_\_\_\_\_

Donald Grenier  
January 27, 2010  
Report No. 138642



## Table of Contents

---

<b>Report Overview</b>	<b>3</b>
<b>Structure</b>	<b>7</b>
<b>Roofing</b>	<b>9</b>
<b>Exterior</b>	<b>10</b>
<b>Electrical</b>	<b>12</b>
<b>Heating System</b>	<b>14</b>
<b>Insulation/Ventilation</b>	<b>15</b>
<b>Plumbing</b>	<b>16</b>
<b>Interior</b>	<b>18</b>
<b>Pictures</b>	<b>21</b>
<b>Maintenance Advice</b>	<b>24</b>

# Report Overview

---

## A GENERAL DESCRIPTION OF THE STRUCTURE

---

This is a 71 year old, average quality single family residence, that has been lacking maintenance somewhat. Apart from the short term need to deal with this lacking maintenance, the improvements that are recommended in this report are not considered unusual for a home of this age and location. Please remember that there is no such thing as a perfect home.

### **WEATHER CONDITIONS**

Wet weather conditions prevailed at the time of the inspection.

## IMMEDIATE RECOMMENDED IMPROVEMENTS

---

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

### **Structure**

1. The wood members under the bathroom show evidence of water damage. We recommend the advice and services of a licensed structural pest control operator for investigation and repair of this condition.
2. One or more crawlspace piers and post at the left side are marginally connected and/or shimmed. We recommend repair or replacement, in accordance with present standards. It is recommended that a qualified licensed contractor be consulted for further advice on structural improvements.
3. A water test was performed on the bathroom stall shower and evidence of active leakage was noted from underneath. It is recommended that a licensed pest control specialist be consulted.

### **Roofing**

4. Loose downspouts at the rear should be repaired or replaced as necessary. (See Picture 10)
5. Loose gutters at the rear should be repaired or replaced as necessary. (See Picture 7)
6. The deteriorated wood gutters at the side and front should be replaced as necessary.
7. Repairs to the older front section of the roofing are recommended. Damaged, loose or missing roofing material should be repaired or replaced as needed. All roof penetrations should be examined and sealed as necessary. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.

### **Exterior**

8. Damaged or cracked siding was noted at the left side exterior wall. We recommend the siding be repaired or replaced as necessary. (See Picture 4)
9. The side decorative shutters are damaged. We recommend they be repaired or replaced as necessary. (See Picture 3)
10. Cracked or broken exterior window's glass at the rear and front should be replaced. (See Picture 7)
11. The window frames/sash at the side wall show evidence of water damage. Repair or replacement is recommended by appropriate trades. (See Picture 14) (See Picture 15)

### **Electrical**

12. We found exposed exterior wiring at the left side wall. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Picture 5)
13. The overhead service wires supplying power to the detached garage do not have adequate clearance from the ground and/or non-conforming. We recommend removal or replacement with approved overhead configuration or underground installation. (See Illustration 2A)

14. The electrical system grounding wire was noted to be loose or improperly secured in the crawl space. We recommend the wire be properly secured as necessary.
15. Ungrounded 3-prong interior outlets at various areas should be improved. A grounded cable or ground wire could be strung to these outlets, the outlet labeled as ungrounded or the original 2-prong receptacle could be reinstalled. If applicable, some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type receptacle where grounding is not provided. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 10O)
16. Older knob and tube wiring in the attic should not be covered with insulation. Insulation should be pulled back or the knob and tube wiring should be replaced.
17. Exposed electrical connections or open junction box(s) at the right side rear crawl space should be improved. All electrical connections should be made inside approved junction boxes fitted with proper cover plates.
18. Running splices, which are improper connections outside of a junction box, were observed in the crawl space. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage.
19. Abandoned wiring was noted in the right side rear crawl space. We recommend the wiring be disconnected at its source or terminated in an approved manner in a covered junction box.

### **Heating System**

20. There is insufficient clearance between the exhaust flue and combustible materials. This should be improved. (See Picture 18)
21. The gas line/connector for the furnace is flexible and made of brass. Brass is no longer approved for this use because it is prone to deterioration. We recommend the gas line/connectors be replaced with a line/connector meeting present standards

### **Insulation/Ventilation**

22. The fan for the kitchen exhaust hood or ceiling vent is not working or has been disconnected. We recommend this condition be corrected for full use of this area.

### **Plumbing**

23. A plastic corrugated flex material has been used for the kitchen sink drain. This is not an approved configuration. We recommend an approved drain trap be installed.
24. The hall bathroom sink faucet is leaking. We recommend all leaks be repaired.
25. The double basin sink in the master bathroom is improperly configured with a double trap. This configuration can allow for venting of sewer gases into the surrounding area. We recommend the installation a single approved trap.
26. The toilet in the hall bath is loose and should be properly re-secured, tightened and caulked. (See Illustration 5B2)
27. The left side crawl space sewer line and hall bathroom tub drain are leaking into the crawl space. We recommend all leaks be repaired.
28. The drain piping at the left side of the crawl space does not have sufficient support to prevent it from sagging. Additional support or bracing is recommended.
29. Copper piping is connected directly to galvanized piping at the left side of the crawl space. This configuration is not approved and can lead to deterioration of the galvanized pipe or connections. We recommend the installation of a approved brass coupling at all necessary locations.

### **Interior**

30. The kitchen countertop is water damaged in the areas under and around the sink where water leakage has occurred. We recommend the advice and services of a licensed structural pest control operator for investigation and repair of this condition. (See Picture 11)
31. The dishwasher lacks an airgap device. Air gaps are standard equipment to assure a separation between supply and waste water of the dishwasher. It is advised that one be installed. (See Illustration 4E)

32. The escutcheons at the hall tub faucet are loose. We recommend tightening and/or sealing this trim piece for a better appearance and to avoid leakage in this area.
33. The clothes dryer is venting to the crawl space. We recommend the vent be improved as to vent to the building exterior. Typical standards for dryer vents require a 4 inch, smooth wall duct, no longer than 14 feet, with a hooded damper at the termination. A flexible vent (6 feet max) may be used at the dryer connection but cannot go through floors or walls.
34. The ceiling at the rear family room and bedroom shows evidence of water stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished to restore its appearance. (See Picture 17)
35. Various older double and casement windows are inoperable, stuck, or painted shut. We recommend repair or replacement to restore functional use of these areas.
36. The fireplace damper is damaged and/or not operational. We recommend it be repaired or replaced as necessary.

## The Scope of the Inspection

---

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

Sections of this building appear to have been remodeled. We recommend consultation with the owner to determine if all necessary permits were taken out, inspections performed and final signatures obtained.

# Structure

---

## ITEM DESCRIPTIONS:

---

<b>Wall/Foundation Structure</b>	• Unknown
<b>Attic Access Location</b>	• Closet • Master bathroom • Attic Method Of Inspection: From The Access
<b>Ceiling Structure</b>	• Joist
<b>Roof Structure</b>	• Rafters
<b>Roof Sheathing</b>	• Plywood or Orientated Strand Board • Spaced Plank
<b>Crawl Space Access</b>	• Closet
<b>Foundation</b>	• Poured Concrete
<b>Floor Structure</b>	• Wood Joist • Wood Columns • Board and Plank Subfloor

## COMMENTS:

---

Due to the design of this building foundation anchor bolts were concealed from view.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- The ceiling is open directly to the attic space for the heater utility closet. This closet has the main gas burning appliances and the present standards required proper fire wall separation at the ceiling. Consideration should be given to installing proper firewall separation.
- ! A water test was performed on the bathroom stall shower and evidence of active leakage was noted from underneath. It is recommended that a licensed pest control specialist be consulted.
- All debris and/or trash should be removed from the crawl space. This will aid in future inspections.
- There is evidence of rodent activity in the attic. A pest control specialist should be consulted in this regard.
- There is evidence of moisture entry and periodic accumulation of water in the crawl space. This condition may vary seasonally and/or with precipitation intensity. Minor pockets of water are not unusual. In most cases, minor water entry is not a concern provided the crawl space has adequate clearance and venting. This condition should then be monitored during the rainy seasons to determine if excessive moisture is present. If excessive moisture develops, drainage upgrading should then be considered. Consult a licensed soils engineer for further information.
- ! The wood members under the bathroom show evidence of water damage. We recommend the advice and services of a licensed structural pest control operator for investigation and repair of this condition.
- Several piers and/or post have been added without footings, probably in an effort to quiet squeaks or to stiffen the floor. The support footings are inadequate by present standard. While the existing configuration has been in place for many years, upgrades might be considered as a preventative measure or if changes are undertaken in the structure above.
- Surface deterioration (known as spalling) was observed on the exposed foundation walls in the crawl space or basement. This condition is common in many homes and does not usually represent a structural concern. In an effort to prevent long term deterioration, it would be wise to consider parging or patching deteriorated areas. Lot drainage improvements, as outlined in the "Roofing or Exterior" section of this report are also recommended.
- ! One or more crawlspace piers and post at the left side are marginally connected and/or shimmed. We recommend repair or replacement, in accordance with present standards. It is recommended that a qualified licensed contractor be consulted for further advice on structural improvements.
- An abandoned and disconnected gravity floor furnace was noted in the crawl space. No major findings are noted in regards to this condition, however the owner may wish to have the unit removed to aid in future inspections.

## LIMITATIONS:

---

This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- The attic was viewed from the attic access hatch only due to insulation covering the wood members. If further inspection of this area is desired catwalks or planks will need to be installed over the exposed ceiling joists. When access has been provided HomeGuard will return for no additional charge.

- Portions of the attic were inaccessible due to roof or pony wall construction detail and were not inspected. There is no practical way to make this area accessible. This is mentioned as information to buyer and other interested parties. There may be conditions in this area that cannot be detected without some form of destructive testing.

# Roofing

## ITEM DESCRIPTIONS:

Roof	• Wood Shake or Wood shingle • Method of inspection: From The Ground.
Chimney	• Masonry • Method of inspection: From The Ground.
Gutters and Downspouts	• Metal • Wood • Downspout Discharge Location: Above Grade

## COMMENTS:

We recommend reviewing a licensed roof inspection report on this structure.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Repairs to the older front section of the roofing are recommended. Damaged, loose or missing roofing material should be repaired or replaced as needed. All roof penetrations should be examined and sealed as necessary. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.
2. The roof was inspected from the ground level only. Most of the roof could not be reached without jeopardizing the safety of the inspector or the integrity of the roof material. Our comments are based only upon a limited visual inspection. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.
3. The cap of the masonry chimney has minor cracking visible which can be patched during regular household maintenance. (See Illustration 3E)
4. The chimney does not have a spark arrestor or rain cap. A rain cap and/or screen should be installed on the masonry chimney. (See Illustration 3I)
- ! 5. Loose downspouts at the rear should be repaired or replaced as necessary. (See Picture 10)
6. The downspout(s) should discharge water at least five (5) feet from the house. Water should be encouraged to flow away from the building at the point of discharge. The installation of underground drainage were applicable may help to control surface drainage.
7. We did not go on the surface of the roof. The chimney could not be reached without jeopardizing the safety of the inspector or the integrity of the roof material. Our comments are based only upon a limited visual inspection. For further evaluation of the condition of the chimney, we recommend you consult a licensed masonry contractor.
- ! 8. Loose gutters at the rear should be repaired or replaced as necessary. (See Picture 7)
- ! 9. The deteriorated wood gutters at the side and front should be replaced as necessary.

## LIMITATIONS:

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

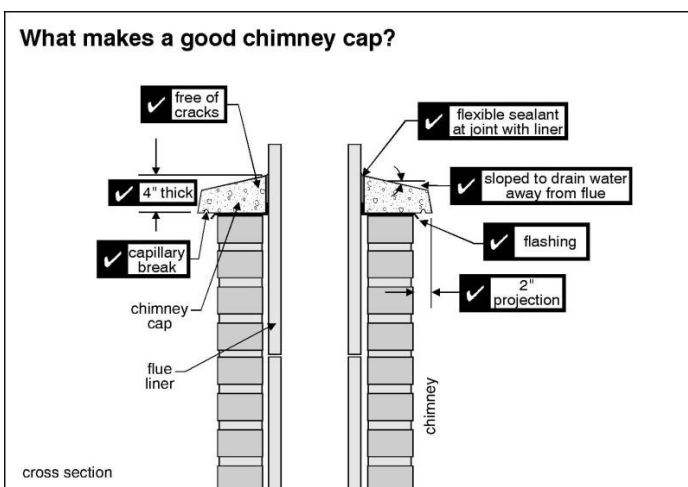


Illustration 3E

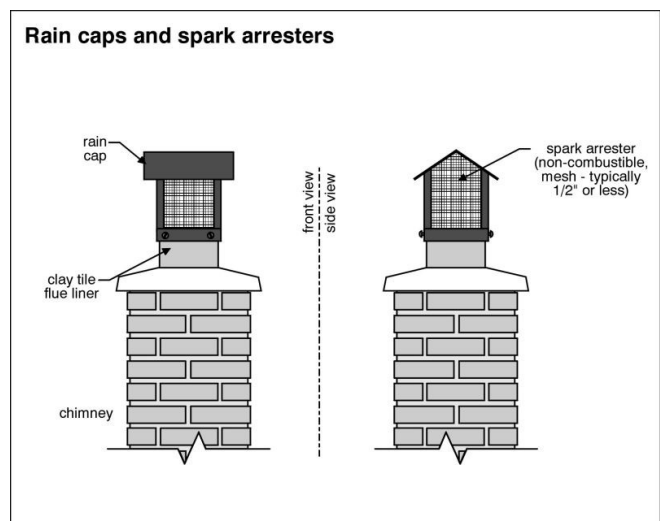


Illustration 3I

# Exterior

---

## ITEM DESCRIPTIONS:

---

Lot Topography	• Level grade
Driveway	• Asphalt
Walkway & Sidewalks	• Concrete • Pavers • Bricks
Retaining Walls/Abutments	• Decorative Brick Planters
Fencing/Gates	• Wood
Steps, Porch/Deck	• Brick/Pavers • Concrete
Fasica, Eaves and Rafters	• Wood • Open Rafters
Exterior Walls	• Wood Siding
Windows	• Wood • Vinyl
Doors	• Wood
Main Garage	• Detached (Not Inspected)

## COMMENTS:

---

The exterior of the home shows signs of normal wear and tear for a home of this age and construction.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The asphalt driveway has deteriorated to the point where reconstruction or overlay will be necessary. We recommend the driveway surface be repaired or replaced as necessary.
- ! 2. Cracked or broken exterior window's glass at the rear and front should be replaced. (See Picture 7)
3. The rear window(s) near the floor or doors lack tempered glass (special safety glass that will not shatter). For safety reasons, it may be wise to consider the installation of tempered glass where appropriate. The following areas are required to have tempered glass in accordance with today's standards:
  - >Windows within 18" of a floor, 4" of a door and any window glazing in doors.
  - >Windows in a shower within five feet of the standing surface.
  - >Windows or doors with glass within five feet of swimming pools and spa deck areas.
  - >Glazing in walls enclosing stairway landings or within five feet of the bottom and top of the stairway where the bottom of the glass is within 60" of the walking surface. (See Picture 7)
- ! 4. The window frames/sash at the side wall show evidence of water damage. Repair or replacement is recommended by appropriate trades. (See Picture 14) (See Picture 15)
5. The concrete driveway is badly cracked. The cracks could be sealed for a better appearance and to prevent moisture intrusion. Replacement will ultimately be necessary.
6. The proximity of the tree at the right side and front walls could disrupt drainage pipes, cause mechanical damage to the exterior of the house or influence the foundation over time. For additional information and recommendations we recommend appropriate trades be consulted. (See Illustration 8E)
7. The gaps in the exterior trim/siding should be caulked as necessary.
8. Portions of the exterior are weathered/peeling, exposed and subject to damage. In the near future, we recommend thorough scraping, sanding, caulking and priming prior to applications of a high quality exterior finish.
9. Obvious repairs and/or modifications have been made to the side exterior walls. The owner may have information about the original conditions, the repairs or remodeling work and any permits that were required, obtained and completed.
- ! 10. Damaged or cracked siding was noted at the left side exterior wall. We recommend the siding be repaired or replaced as necessary. (See Picture 4)
11. The window(s) in the exterior rear door lack tempered glass (special safety glass that will not shatter). For safety reasons, it may be wise to consider the installation of tempered glass where appropriate. (See Picture 8) (See Picture 9)
12. It may be desirable to repair or replace the window screens where damaged.
- ! 13. The side decorative shutters are damaged. We recommend they be repaired or replaced as necessary. (See Picture 3)

## LIMITATIONS:

---

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.

- The inspection does not include an assessment of geological conditions, site stability and property surface drainage runoff.

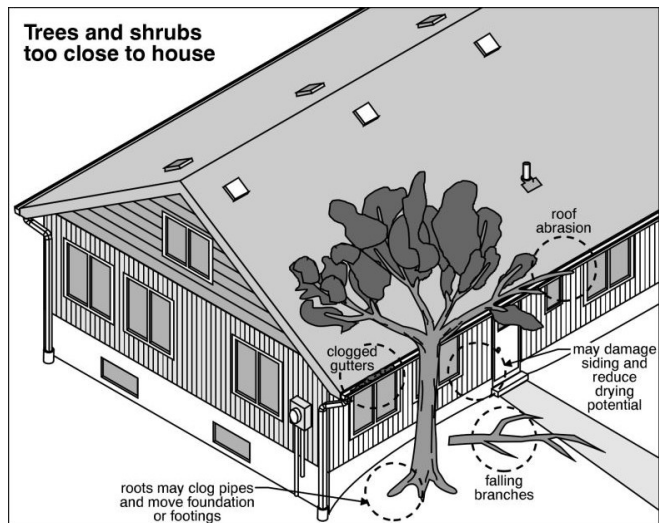


Illustration 8E

# Electrical

---

## ITEM DESCRIPTIONS:

---

<b>Service</b>	• 120/240 volt main service
<b>Service Entrance</b>	• Overhead Service Wires
<b>Service Ground</b>	• Copper Ground Wire • Water Pipe Connections • Ground Rod Connections
<b>Main disconnect</b>	• Breakers • Main Service Rating: 200 Amps
<b>Main Distribution Panel</b>	• Breakers • Exterior Side
<b>Branch/Auxillary Panel</b>	• Unknown
<b>Distribution Wiring</b>	• Copper Wire • Knob & Tube wiring noted
<b>Outlets</b>	• Grounded/Ungrounded
<b>Ground Fault Circuit Interrupters</b>	• Master bathroom

## COMMENTS:

---

The size of the electrical service is sufficient for typical single family needs.

Evidence of remodeling or modifications to the electrical system were evident. Inquire with the owner as to their nature and any permits that may have been necessary. Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Ungrounded 3-prong interior outlets at various areas should be improved. A grounded cable or ground wire could be strung to these outlets, the outlet labeled as ungrounded or the original 2-prong receptacle could be reinstalled. If applicable, some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type receptacle where grounding is not provided. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 10O)
2. We tested a representative number of switches and found several to be without an obvious function (possibly for switched wall outlets). This is not necessarily a deficiency, but we suggest consultation with the owner and/or testing of the outlets and switches at night to aid in determining their function.
3. The "3 way" switch combination in the entry/hall is not functioning as intended. Either switch should have full control of the there light fixture. This is a matter of convenience and is not a safety problem. Improvements would be optional. (See Illustration 10V)
4. Exposed wiring on interior finishes in the kitchen cabinet should be relocated, covered or protected by rigid conduit. (See Picture 12)
5. Knob and tube wiring is in use in this building. This is an outdated system, but is not necessarily hazardous simply because it is old. However, primarily because the knob and tube circuits are generally not grounded, and because of its age, we recommend replacement of the older wiring over time, as upgrades and maintenance projects are undertaken.
6. Loose wiring in various locations of the right side rear crawl space should be improved by securing it to the framing.
- ! 7. Running splices, which are improper connections outside of a junction box, were observed in the crawl space. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage.
- ! 8. The overhead service wires supplying power to the detached garage do not have adequate clearance from the ground and/or non-conforming. We recommend removal or replacement with approved overhead configuration or underground installation. (See Illustration 2A)
- ! 9. Exposed electrical connections or open junction box(s) at the right side rear crawl space should be improved. All electrical connections should be made inside approved junction boxes fitted with proper cover plates.
- ! 10. Abandoned wiring was noted in the right side rear crawl space. We recommend the wiring be disconnected at its source or terminated in an approved manner in a covered junction box.
- ! 11. We found exposed exterior wiring at the left side wall. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Picture 5)
12. Tree limbs should be cut back from the electrical service entrance wires. This work should be done by or coordinated with the utility provider.
- ! 13. Older knob and tube wiring in the attic should not be covered with insulation. Insulation should be pulled back or the knob and tube wiring should be replaced.

- ! 14. The electrical system grounding wire was noted to be loose or improperly secured in the crawl space. We recommend the wire be properly secured as necessary.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow (or breakers trip) regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits. It does not indicate that your electrical service is undersized, nor does it represent a safety concern.
- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards and due to time limitations and/or owner furniture only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage (if applicable) may of restricted access to some electrical components.

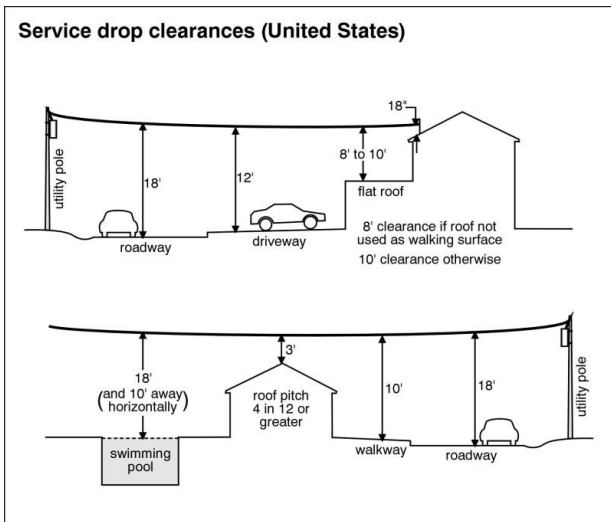


Illustration 2A

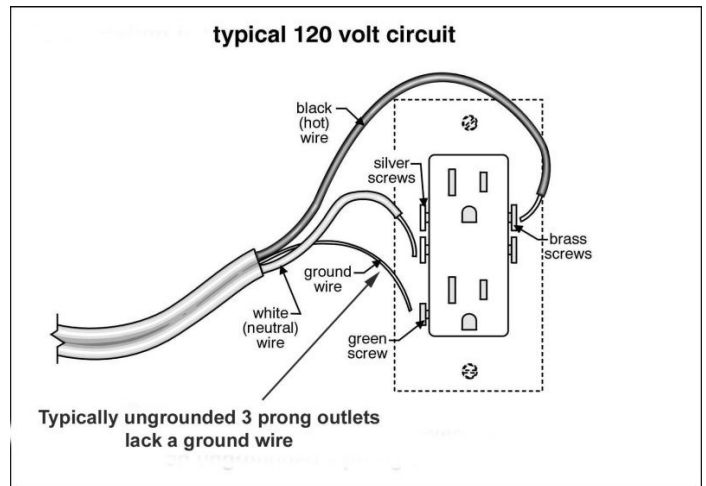


Illustration 100

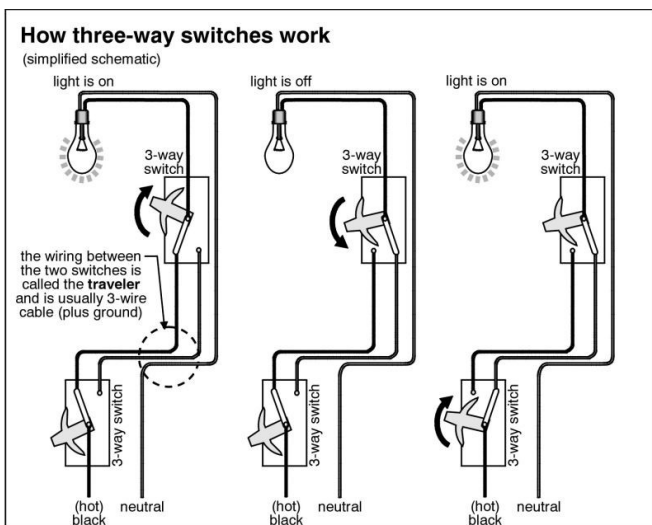


Illustration 10V

# Heating System

---

## ITEM DESCRIPTIONS:

---

Primary Energy Source	• Gas
Heating System Type	• Forced Air • Manufacturer: Bryant • BTU's: 60,000 • Age: 3 Years • Location: Closet
Distribution	• Ductwork

## COMMENTS:

The heating system which was operated at the time of our inspection shows no visible evidence of major defects.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The gas wall heater in the front left side bedroom is damaged and obsolete. We recommend it be removed and gas/vent properly capped off.
2. One or more of the interior heater registers are loose. We recommend all loose registers be repaired or replaced as necessary.
3. The minimum clearance between the forced air furnace and the interior heater closet walls is suspect. We recommend a qualified contractor be retained to further evaluate the suspect clearance issue.
- ! 4. The gas line/connector for the furnace is flexible and made of brass. Brass is no longer approved for this use because it is prone to deterioration. We recommend the gas line/connectors be replaced with a line/connector meeting present standards
- ! 5. There is insufficient clearance between the exhaust flue and combustible materials. This should be improved. (See Picture 18)
6. The heating system is dirty and in this condition will operate inefficiently. We recommend a qualified H.V.A.C contractor be retained to service, clean, and tune the system.
7. The combustion air (and draft air) upper and/or lower vents for the heating systems are torn or missing. These areas should be repaired to prevent rodent entry.

## LIMITATIONS:

---

This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- Determining furnace heat supply adequacy or distribution is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) were not inspected and is excluded from this report.
- Heating and/or air conditioning registers where visually inspected were accessible. Manual operation of the registers was not performed unless noted otherwise.
- The heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company (PG&E) will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation and again prior to lapse of your home warranty coverage (if applicable).
- Inspection of the heater and/or air conditioner thermostat is limited to operating the units(s) on and off function only. Testing of the thermostat timer, clock, set back functions, etc. were not performed.

# Insulation/Ventilation

---

**ITEM DESCRIPTIONS:**

---

<b>Exterior Walls Insulation</b>	• Unknown
<b>Attic/Roof Insulation</b>	• Fiberglass • Cellulose • Depth in inches: 6+
<b>Attic/Roof Ventilation</b>	• Fascia vents
<b>Crawlspace Insulation</b>	• Fiberglass on the rear addition
<b>Crawl Space Ventilation</b>	• Exterior wall vent(s)

**COMMENTS:**

---

Insulation levels are typical for a home of this age and construction.

**RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.**

- ! 1. The fan for the kitchen exhaust hood or ceiling vent is not working or has been disconnected. We recommend this condition be corrected for full use of this area.
2. There are no functional windows in the hall bathroom for ventilation. We recommend exhaust fan that discharges to the building exterior for each bathroom as additional ventilation during the winter months when windows are kept closed.
3. One or more of the ventilation screen(s) for the crawl space are torn, damaged or missing. We recommend the ventilation screen(s) be repaired or replaced as necessary.
4. Missing and/or loose floor insulation was noted in one or more areas of the rear addition crawl space. We recommend all loose, missing and/or damaged insulation be replaced.
5. One or more of the front and side crawl space vents are even with or below the exterior grade level, this condition can allow moisture to enter the crawl space. We recommend the exterior grading be improved to slope away from the structure. If the opportunity for easy grading does not exist the installation of dams around the exterior of the vents should be considered.

**LIMITATIONS:**

---

This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- Any estimates of insulation R values or depths are rough average values.
- An analysis of indoor air quality is beyond the scope of this inspection.

# Plumbing

---

## ITEM DESCRIPTIONS:

---

<b>Water Supply Source</b>	• Public
<b>Service Pipe</b>	• Unknown/Inaccessible (Not Inspected)
<b>Main Water Valve Location</b>	• Exterior Side
<b>Supply Piping</b>	• Copper Pipe • Galvanized
<b>Waste Disposal System</b>	• Public
<b>Drain/Waste/Vent</b>	• Plastic • Galvanized Steel • Cast Iron
<b>Cleanout Location</b>	• Crawl space
<b>Main Gas Valve Location</b>	• Exterior Rear
<b>Water Heaters</b>	• Manufacturer: Sears • Capacity: 40 Gallons • Approximate Age: 5 Year(s) • Gas
<b>Seismic Gas Shut-off</b>	• Not Present
<b>Excess Flow Gas Shut-off</b>	• Not Present

## COMMENTS:

---

The plumbing system requires some typical minor improvements. We recommend a licensed plumbing contractor be consulted to undertake the improvements recommended below.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. A plastic corrugated flex material has been used for the kitchen sink drain. This is not an approved configuration. We recommend an approved drain trap be installed.
- ! 2. The hall bathroom sink faucet is leaking. We recommend all leaks be repaired.
- ! 3. The toilet in the hall bath is loose and should be properly re-secured, tightened and caulked. (See Illustration 5B2)
4. The Hall bathroom shower faucet handles are loose and should be tightened.
- ! 5. The double basin sink in the master bathroom is improperly configured with a double trap. This configuration can allow for venting of sewer gases into the surrounding area. We recommend the installation a single approved trap.
6. The hall bathroom tub drain was observed to drain slowly, suggesting that an obstruction may exist. We recommend the drain line be cleaned of any obstructions for full use of this area.
7. There is evidence of a past leaks and corrosion but no active leakage was noted to the exterior of the hall bathroom sink and drain piping. This area should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered.
8. The tub/shower faucet in the master bathroom was not functioning properly or difficult to operate. We recommend repair or replacement for full use of this area.
9. The hall bathroom tub faucet was drippy. For water conservation and cosmetic issues we recommend the faucet be repaired.
10. The main water shut-off handle is partially buried. We recommend the valve be fully exposed for ease of operation. This would be especially important in an emergency.
- ! 11. The left side crawl space sewer line and hall bathroom tub drain are leaking into the crawl space. We recommend all leaks be repaired.
- ! 12. The drain piping at the left side of the crawl space does not have sufficient support to prevent it from sagging. Additional support or bracing is recommended.
13. The supply piping in the left side of the crawl space does not have sufficient support to prevent it from sagging. Additional support or bracing is recommended.
14. There was a abandoned uncapped gas line noted at the left side of the crawl space. If not going to be used we recommend the pipe be properly capped off or removed.
- ! 15. Copper piping is connected directly to galvanized piping at the left side of the crawl space. This configuration is not approved and can lead to deterioration of the galvanized pipe or connections. We recommend the installation of a approved brass coupling at all necessary locations.

## MAINTENANCE ITEMS & GENERAL INFORMATION

16. Abandoned plumbing was noted in one or more areas of the crawl space. We recommend all abandoned or unused plumbing be removed.

**DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES**

17. There is no metal pan under the water heater to catch and divert any dripping water to the exterior. We recommend that consideration be given to installing one.
18. The older steel water supply piping is subject to corrosion on the interior of the pipe. As corrosion builds up, the inside diameter of the pipe may become constricted, resulting in a loss of water pressure. However this condition is not common to all galvanized metal piping and varies with the hardness and acidity of the water and composition of the pipe. Restricted piping is typically replaced when the loss of pressure can no longer be tolerated. For additional comments we recommend a licensed plumbing contractor be consulted.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only.

- Water and gas shut-off valves, including seismic and excess flow shut-off valves (Fireplace gas valves where applicable), were not operated or tested. Identification of these devices is limited to the accessible areas only.
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.
- Water pressure and water quality is not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).

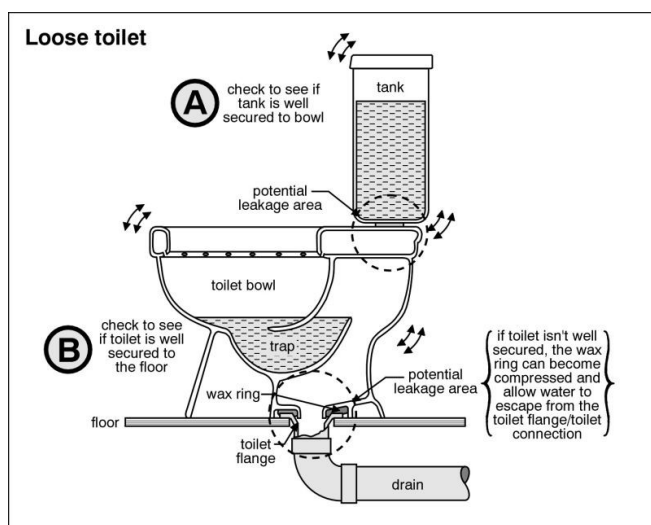


Illustration 5B2

# Interior

## ITEM DESCRIPTIONS:

<b>Kitchen Appliances Tested</b>	• Gas Range • Dishwasher • Waste Disposer • Ceiling exhaust fan
<b>Laundry Facilities/Hookup</b>	• 240 Volt Circuit for Dryer • 120 Volt Circuit for Washer • Hot and Cold Water Supply for Washer • Waste Standpipe for Washer • Laundry Sink drain for Washer • Dryer vent noted
<b>Wall Finishes</b>	• Drywall/Plaster
<b>Ceiling Finishes</b>	• Drywall/Plaster
<b>Floor</b>	• Carpet • Tile/Stone
<b>Doors</b>	• Hollow Core • Pocket
<b>Window style and Glazing</b>	• Casement • Double/Single Hung • Fixed Pane • Single Pane • Double Pane
<b>Fireplace/Wood Stove</b>	• Masonry Fire Box

## COMMENTS:

On the whole, the interior finishes of the home are considered to be in average condition. Typical flaws were observed in some areas.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

### INTERIOR

1. Some of the interior floors were noted to squeak when walked on. This does not affect the functional use of the floor. Squeaks can usually be eliminated, if desired, by additional attachment of the subfloor to the floor joist.
2. The fireplace chimney should be inspected and cleaned prior to operation. (See Illustration 8A)
3. The tile floor surface at the hall is cracked and/or chipped. This is a cosmetic issue and repairs are optional.
4. The ceiling at the dining room and bedroom shows evidence of patching. The cause of this condition is unknown. It is recommended that the seller be consulted for explanations.
5. One or more interior doors do not latch properly. We recommend that hinges, latches and strike plates be adjusted to restore full operation.
- ! 6. The ceiling at the rear family room and bedroom shows evidence of water stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished to restore its appearance. (See Picture 17)
- ! 7. The fireplace damper is damaged and/or not operational. We recommend it be repaired or replaced as necessary.
8. One or more of the interior door(s) rubs on the frame/jamb. We recommend all rubbing doors be trimmed, planned or adjusted as necessary to improve operation.
- ! 9. Various older double and casement windows are inoperable, stuck, or painted shut. We recommend repair or replacement to restore functional use of these areas.
10. One or more of the older windows are not fully serviceable because their lift mechanism (sash cords or springs) are missing or damaged. We recommend these windows be repaired and their full functional use restored.
11. The living room/family room window(s) near the floor or doors lack tempered glass (special safety glass that will not shatter). For safety reasons, it may be wise to consider the installation of tempered glass where appropriate. The following areas are required to have tempered glass in accordance with today's standards:
  - >Windows within 18" of a floor, 4" of a door and any window glazing in doors.
  - >Windows in a shower within five feet of the standing surface.
  - >Windows or doors with glass within five feet of swimming pools and spa deck areas.
 Glazing in walls enclosing stairway landings or within five feet of the bottom and top of the stairway where the bottom of the glass is within 60" of the walking surface. (See Picture 16)
12. The window(s) in the living room/family room door lack tempered glass (special safety glass that will not shatter). For safety reasons, it may be wise to consider the installation of tempered glass where appropriate. (See Picture 16)

### KITCHEN

- ! 13. The kitchen countertop is water damaged in the areas under and around the sink where water leakage has occurred. We recommend the advice and services of a licensed structural pest control operator for investigation and repair of this condition. (See Picture 11)
- ! 14. The dishwasher lacks an airgap device. Air gaps are standard equipment to assure a separation between supply and waste water of the dishwasher. It is advised that one be installed. (See Illustration 4E)

15. The switch for the garbage disposal is located in the cabinet, although not required, installation of a more accessible switch should be considered.

#### **BATHROOMS**

16. The glass enclosure in the hall bathroom shower does not appear to be tempered glass (special safety glass that will not shatter). Glass in bath areas should be tempered for safety reasons. It may be wise to consider the installation of tempered glass where appropriate.
17. The hall bathroom shower enclosure latch is difficult to operate and/or missing. We recommend repair or replacement for full use of this shower.
- ! 18. The escutcheons at the hall tub faucet are loose. We recommend tightening and/or sealing this trim piece for a better appearance and to avoid leakage in this area.
19. The tub/shower door in the hall bathroom is not installed or adjusted properly. We recommend it be properly reinstalled and/or adjusted to function properly.

#### **LAUNDRY**

- ! 20. The clothes dryer is venting to the crawl space. We recommend the vent be improved as to vent to the building exterior. Typical standards for dryer vents require a 4 inch, smooth wall duct, no longer than 14 feet, with a hooded damper at the termination. A flexible vent (6 feet max) may be used at the dryer connection but cannot go through floors or walls.
21. The laundry tub is loose or improperly secured to the wall or floor. We recommend it be properly secured. (See Picture 13)

#### **MAINTENANCE ITEMS & GENERAL INFORMATION**

##### **INTERIOR**

22. The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture developing between the panes of glass. Due to the known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time.

#### **LIMITATIONS:**

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture.

- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report.
- Fireplace screens or doors were not inspected and are excluded from this report
- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- Kitchen appliances were operated (Unless noted otherwise) however they were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.
- The operation of the dishwasher was limited to a filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.
- The washing machine faucets were visually inspected however they were not tested.

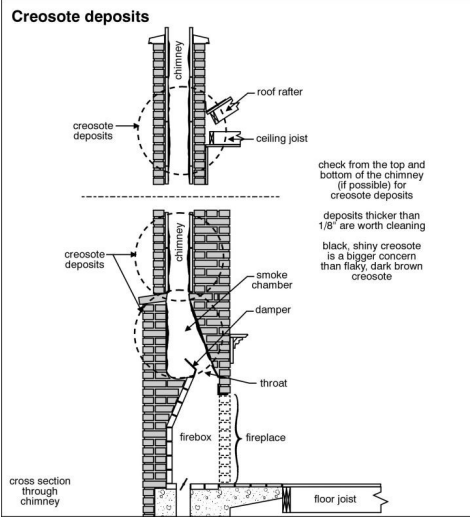


Illustration 8A

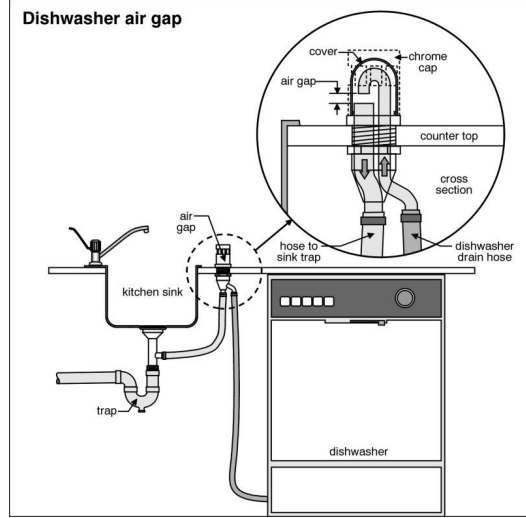


Illustration 4E

## Pictures

---

Pictures are provided to assist in clarifying some of the findings made in this report. No relative importance should be placed on these pictures. The pictures in this report do not necessarily illustrate all of the damage as outlined in this report. Please contact the inspector if you have specific questions.

---



Picture 3



Picture 4



Picture 5



Picture 6



Picture 7



Picture 8



Picture 9



Picture 10



Picture 11



Picture 12



Picture 13



Picture 14



Picture 16



Picture 17



Picture 18

# Maintenance Advice

---

## UPON TAKING OWNERSHIP

---

After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- Change the locks on all exterior entrances, for improved security.
- Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- Install rain caps and vermin screens on all chimney flues, as necessary.
- Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

## REGULAR MAINTENANCE

---

### EVERY MONTH

- Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- Examine heating/cooling air filters and replace or clean as necessary.
- Inspect and clean humidifiers and electronic air cleaners.
- If the house has hot water heating, bleed radiator valves.
- Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- Repair or replace leaking faucets or shower heads.
- Secure loose toilets, or repair flush mechanisms that become troublesome.

### SPRING AND FALL

- Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- Survey the basement and/or crawl space walls for evidence of moisture seepage.
- Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- Ensure that the grade of the land around the house encourages water to flow away from the foundation.

- Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- Replace or clean exhaust hood filters.
- Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

**ANNUALLY**

- Replace smoke detector batteries.
- Have the heating, cooling and water heater systems cleaned and serviced.
- Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

**PREVENTION IS THE BEST APPROACH**

---

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



510 Madera Ave.  
San Jose, CA 95112  
(408) 993-1900  
Fax (408) 993-1944

## Invoice

Invoice Date: **1/28/2010**

Invoice No: **SJ265698P**

### Bill To:

**Robin Primeau  
Old Republic Title  
2105 S. Bascom Avenue #120  
Campbell Ca 95008**

### Property Information:

Address: **2431 Plummer Avenue  
San Jose CA, 95125**  
Report No: **138642 TPR**  
Escrow#:

### Billing Information:

Inspection: **1/27/2010 Original** **\$435.00**

Total Due: **\$435.00**

**DUE UPON RECEIPT  
PLEASE REMIT**